

ELEVATION GRANTS

An In-Depth Look Into the Process

2024 SCAHM Conference
March 19, 2024



BEFORE & AFTER PHOTOS OF ELEVATED HOUSES



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TYPES OF ELEVATION GRANTS

- HMGP
- FMA
- OTHER DISASTER-RELATED FUNDS
- CDBG
- HOME

PRE-ELEVATION PROCESS

- 1 IDENTIFICATION
- 2 APPLICATION
- 3 FUNDING
- 4 FEASIBILITY
- 5 DESIGN
- 6 PROCUREMENT
- 7 PRECONSTRUCTION CONFERENCE



IDENTIFICATION

- ✓ STORM DAMAGED PROPERTY
- ✓ REPETITIVE LOSS LIST
- ✓ OWNER REQUEST
- ✓ REHABILITATION IN THE FLOODPLAIN

APPLICATION

- ✓ LOCAL APPLICATION (PROPERTY SITE INVENTORY)
DOCUMENTING DAMAGE/NEEDS
- ✓ ELEVATION CERTIFICATE
- ✓ TAX CARD (PROOF OF OWNERSHIP)
- ✓ MODEL ACKNOWLEDGEMENT (AGREEMENT FOR FLOOD
INSURANCE)
- ✓ PHOTOGRAPHS

FUNDING

- ✓ FEMA/HUD/STATE APPROVAL
- ✓ DETERMINE ADMINISTRATOR
- ✓ LOCAL POLICIES/BUDGET
- ✓ PROFESSIONAL SERVICES PROCUREMENT



FEASIBILITY

HC-2202

Page 1

HYDE COUNTY HURRICANE FLORENCE FLOOD MITIGATION ASSISTANCE GRANT (FMAG)
Site Evaluation and Scope of Work

PART 1 – SITE EVALUATION

Owner Name(s):

Kaitlyn Dale

Parcel ID #:

Street Address:

617 Crabtree Rd.

City/Town:

Belhaven, NC

Zip:

27810

DATA REQUIRED FOR PREPARATION OF BID DOCUMENTS:

(Check if complete or in possession at time of evaluation)

Preliminary Grant Agreement

Right-to Enter Agreement

X

Tax Card

X

Photographs

Asbestos Inspection Report

Termite Report

Site Survey/Elevation Certificate

SHPO Evaluation

Preliminary Rating Form (FMAG.25)

No

Need a Post-elevation Rendering/Visualization Photo for Homeowner



SCOPE OF DRAWINGS TO BE PROVIDED (Engineer to check the one that applies to this unit):

Type 1 – Generic (e.g., Simple FHA Style Home): Includes only the Standard Wall X-sections, Piers, & Related Standard Detail (i.e., connections, access, H/C ramps) & the Site-Specific Plan Notes.

Type 2 – Similar to Type 1 but includes an Existing Foundation Plan & an Engineered Proposed Foundation Plan. Typically, does not include site-specific sections.

X

Type 3 – Full Intensive Engineered Design/Plan Set.

IV. ENGINEER’S OPINION/RECOMMENDATIONS

A.

UNIT RECOMMENDED FOR BID as defined in the attached Scope of Elevation Work using continuous exterior footings and walls and interior spread footings and piers as specified by the prescriptive methods of the Residential Building Code and the HMGP Scope of Elevation Work/Engineering Drawings.

B.

UNIT DEFERRED FOR BID.
Provide a brief summary of the reason for deferral and summary of required pre-elevation repairs.

C.

X

UNIT IS UNSUITABLE FOR ELEVATION in its present condition. Provide a brief summary below.
1. Extensive floor framing repairs are needed to existing floor framing for house and porches to enable placement of steel beneath floor. Also, extensive mold-related issues exist throughout house in need of attention to be able to inhabit house.
2. See III.A above for specific items and recommendations required prior to being able to elevate this house.

D. ADDITIONAL NOTES:

N/A

NOTE TO HOMEOWNER

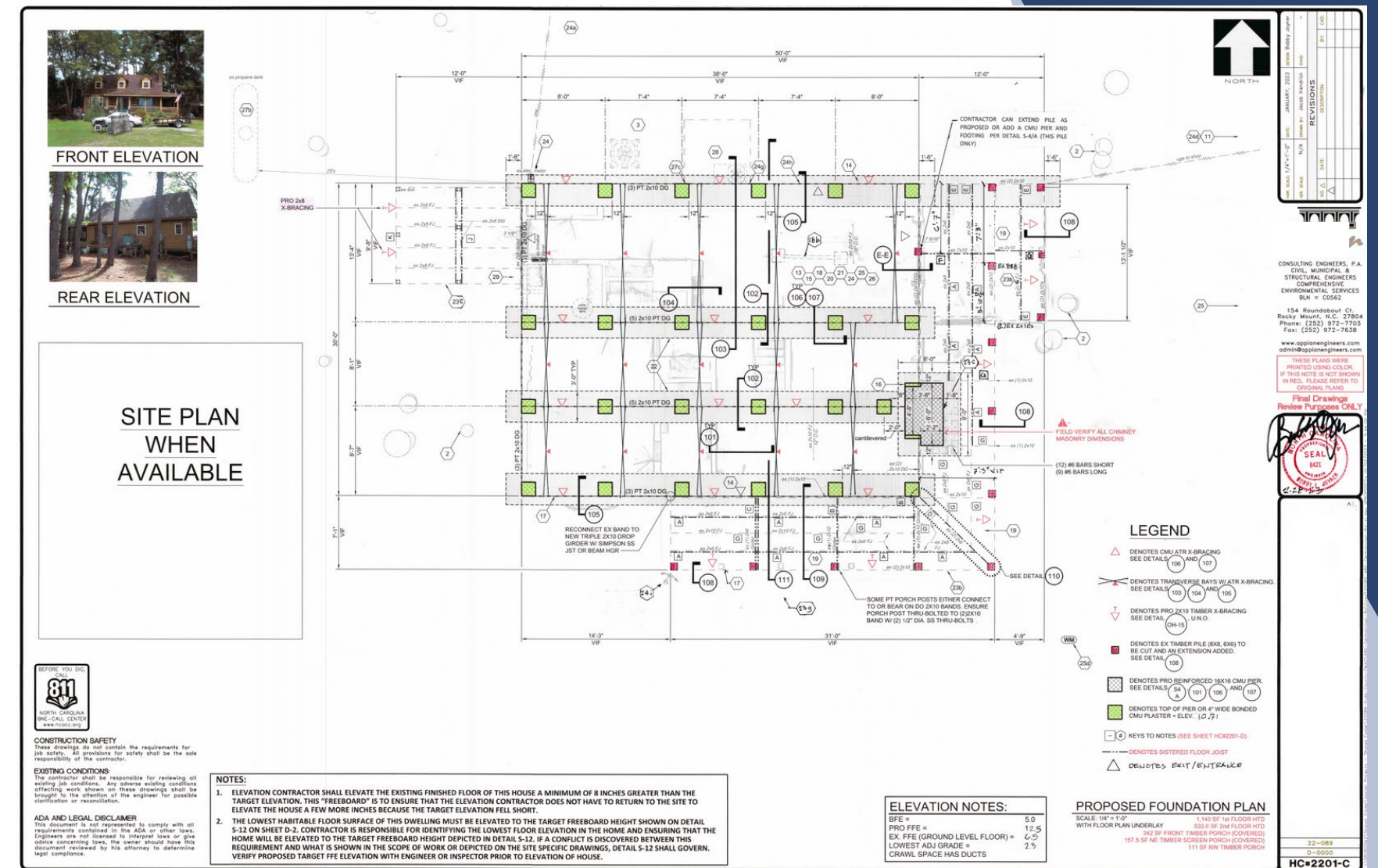
This report/recommendation does not certify that the house will not suffer damage associated with the elevation process. The recommendation to elevate is based on a limited review of the house and relies on the fact that similar houses in similar conditions have satisfactorily undergone an elevation process. The elevation contractor is responsible for the means and methods of elevating the house and is responsible for closely monitoring the results of imposing jacking loads on the house during elevation. The elevation contractor is responsible for taking whatever action is necessary to minimize damage to the house. The contractor and/or local building code authority may judge that this house is unsuitable for elevation following commencement of construction.

FEASIBLE FOR ELEVATION

NOT FEASIBLE FOR ELEVATION

DESIGN

- ✓ FREEBOARD
- ✓ ELEVATION CERTIFICATE
- ✓ SITE SURVEY
- ✓ ASBESTOS INSPECTION
- ✓ SOIL TESTING (IF APPLICABLE)
- ✓ TERMITE INSPECTION (IF APPLICABLE)
- ✓ SCOPE OF WORK/ENGINEERED DRAWINGS



PROCUREMENT

- ✓ ADVERTISE
- ✓ LIST OF LICENSED GENERAL CONTRACTORS
- ✓ HANDBOOK
- ✓ SEALED BIDS – BID TABULATION
- ✓ REFERENCES
- ✓ MUNICIPAL AWARD

PRE-CONSTRUCTION CONFERENCE

- ✓ CHECKLIST
- ✓ REVIEW SCOPE OF WORK
- ✓ REVIEW CONTRACT
- ✓ DISCONNECTIONS/RECONNECTIONS
- ✓ TEMPORARY RELOCATION/STORAGE
- ✓ DEED RESTRICTION (TO BE RECORDED)

CONSTRUCTION PROCESS

- 1 ELEVATION
- 2 FOUNDATION REMOVAL
- 3 FOOTERS/FOUNDATION WALLS
- 4 ACCESSES
- 5 UTILITY RETROFIT
- 6 CLOSEOUT



ELEVATION



WHAT NOT TO DO



FOUNDATION REMOVAL



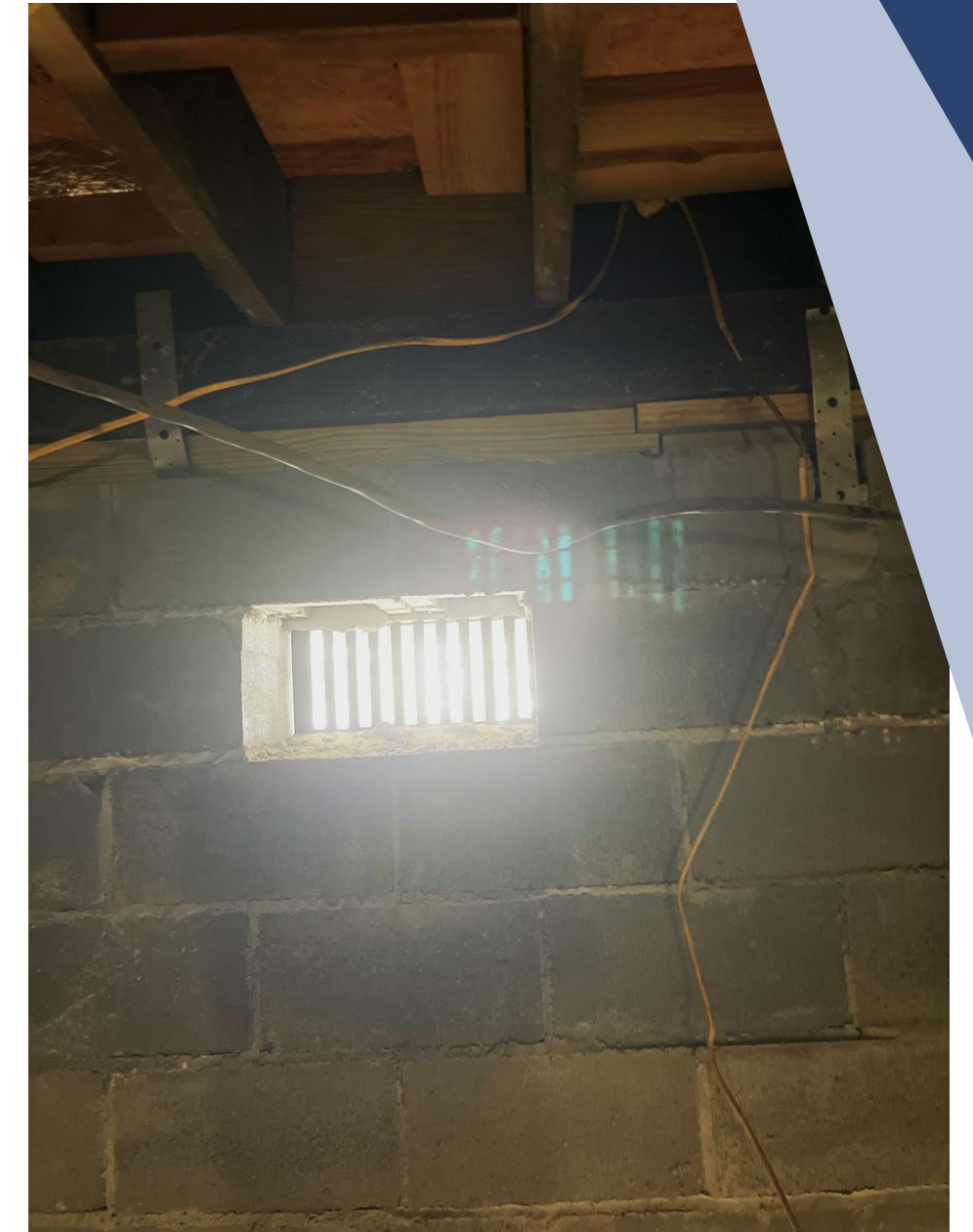
FOUNDATION ISSUES



FOOTERS / FOUNDATION WALLS



FLOOR FRAMING/TIE-DOWNS



ACCESSSES



UTILITY RETROFIT



CLOSEOUT

- ✓ FLOOD VENTS
- ✓ POST-ELEVATION CERTIFICATE
(FOR FLOOD INSURANCE/
FLOODPLAIN COMPLIANCE)
- ✓ SUBCONTRACTORS' LIEN
RELEASE
- ✓ CERTIFICATE OF COMPLIANCE/
OCCUPANCY
- ✓ FIELD NOTES
- ✓ CLEAN UP OF STAGING AREA

102 East Pitt Street

4/6/23-Met with Mr. Pierce and Paul Woolard to sign contracts. Pierce said it would take 4-6 weeks to remove softscape around the house before lift.

5/25-Fishpond and most of the softscape has been removed. Had tentatively planned for contractor to be on site next week. With a slight delay in lawn prep the contractor is now 1 week on removing the floor system needed prior to lift.

6/5-Prep done and elevation crew set to start asap.

6/8-Elevation started. Numerous loads of clay will need to be removed before the beam can be installed in the crawlspace.

6/14-Elevation contractor called, he is behind on several jobs but is sending a crew every day. Stated it would be mid to end of next week before the will start the lift.

6/27-Met on site with lifter and contractor. Plans to have the house up by the end of the day.

6/28-Contractor called. The house did not go up until today.

7/6-Met with Christine B. on site.

7/7-The contractor had discussed the possibility of leaving the old foundation. I told him to remove existing and move forward. He will have the foundation guy on site Monday to direct him on moving forward.

7/21-Sand has been brought in to fill trenches and packed. Foundation sub was scheduled to come in this week and start footings.

7/25-New footings dug but full of water. Some of the footing sides have collapsed and will be re-dug. Has been raining every afternoon ½ to 2 ¼ inches of rain every one to two days for the last 6 weeks.

8/3-All rebar set and starting concrete pour. Should complete pour today. The contractor is scheduling the mason for the middle to end of next week.

8/23-Mason on site working.

9/13-Most of the block has been laid. There was a mix up with too many 8" block and not enough 12" block. The order has been resent.

9/19-No workers on site. Most of the block have been laid to the point of setting mud sills.

10/12-Mudsills around the exterior walls are in place. Called the contractor, the house is scheduled to be set down next Wednesday the 18th.

10/19-Met with the contractor and his framing sub on site. Discussed options for adding support below the stairway. The grant will not be able to pay for the additional work required.

DELIVERABLES

- ✓ PRE & POST-ELEVATION CERTIFICATES
- ✓ SITE SURVEY
- ✓ FINAL PHOTOS
- ✓ CERTIFICATE OF OCCUPANCY
- ✓ COPY OF RECORDED DEED RESTRICTIONS
- ✓ ACKNOWLEDGEMENT OF CONDITIONS FOR
MITIGATION OF PROPERTY IN AN SFHA FORM
- ✓ CERTIFICATE OF FLOOD INSURANCE
- ✓ AW-501 FORM

QUESTIONS?

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